

# KAHANA RIDGE

*c/o Destination Maui, Inc.  
841 Alua Street, Suite 102  
Wailuku, HI 96793-1483*

# **CONSTRUCTION DESIGN REVIEW PROCEDURES**

**FOR**

# **KAHANA RIDGE ASSOCIATION, INC.**

**Updated - October 25, 2011**

**TABLE OF CONTENTS  
ARCHTECTURAL DESIGN REVIEW PACKAGE**

<b>Page 1</b>	<b>Cover Page</b>
<b>Page 2</b>	<b>Table of Contents</b>
<b>Page 3</b>	<b>Design Review Checklist</b>
<b>Page 4</b>	<b>Application Form for Design Review</b>
<b>Page 5</b>	<b>Contractor Insurance Requirements</b>
<b>Page 6</b>	<b>Description Summary – Building/Property</b>
<b>Page 7</b>	<b>Construction Rules</b>
<b>Page 8</b>	<b>Contractor Intent of Compliance Statement</b>
<b>Page 9</b>	<b>Owner Intent of Compliance Statement</b>
<b>Page 10</b>	<b>CC &amp; R's - Exhibit C DESIGN STANDARDS – Title Page</b>
<b>Pages 11- 18</b>	<b><u>Exhibit C Design Standards</u></b>
<b>Page 19</b>	<b>General Construction Design Information</b>
<b>Page 20 – 27</b>	<b>Grading, <u>Height of Structures, Retaining Walls, Mail Boxes</u></b>
<b>Page 28</b>	<b>Landscaping Plants Recommended – Title Page</b>
<b>Page 29 – 32</b>	<b><u>Small Canopy Trees, Palms, Shrubs, Hedges, Vines, Ground Cover, Grasses</u></b>
<b>Page 33 – 35</b>	<b>Addendum A – Design Review Procedures</b>
<b>Page 36 – 38</b>	<b>Addendum B – Lot Standards and Criteria</b>
<b>Page 39 -</b>	<b>End of Forms Page</b>

**DESIGN REVIEW CHECKLIST**  
**Provided To Owner and the**  
**ARCHITECTURAL DESIGN COMMITTEE**

Owner(s): \_\_\_\_\_  
(Please Print Names) (Owner Current Address – City, State, Zip Code)

Contractor: \_\_\_\_\_ **Date This Review Package Submitted:** \_\_\_\_\_

KR Marketing Lot No. \_\_\_\_\_ Legal Lot No: \_\_\_\_\_ Tax Map Key (TMK) \_\_\_\_\_

\_\_\_\_\_ **\$200.00** Design review Fee (check made payable to Kahana Ridge Association - include Mkt. Lot No. and TMK No. on check)

\_\_\_\_\_ **\$3,000.00** Construction Bond Deposit Verified (check made payable to Kahana Ridge Association, Inc. - include legal TMK No. for Reference on check)

- \_\_\_\_\_ Application Form – For Design Review – Page 4
- \_\_\_\_\_ Contractor Certificate of Insurance with KRA as Additional Insured – Page 5
- \_\_\_\_\_ Description Summary – Building/Property – Page 6
- \_\_\_\_\_ Construction Rules – Page 7
- \_\_\_\_\_ Contractor’s Intent of Compliance Statement - Page 8
- \_\_\_\_\_ Owner’s Intent of Compliance Statement – Page 9
- \_\_\_\_\_ CC & R’s – Exhibit C – DESIGN STANDARDS – Pages 10 thru 18
- \_\_\_\_\_ House & Plot Plans -Two (2) copies
- \_\_\_\_\_ Site Plan - Includes building setbacks, existing elevations - Two (2) copies
- \_\_\_\_\_ Site Plan – Includes driveway access location and all utilities locations
- \_\_\_\_\_ Site Plan – Utility relocations for ADC approval prior to relocation
- \_\_\_\_\_ Topography map of lot by a licensed surveyor required - Two (2) copies
- \_\_\_\_\_ County Building Permit – One copy submitted prior to ANY grading.
- \_\_\_\_\_ SECTION DRAWING – Finished grade and original grade elevations - Two (2) copies
- \_\_\_\_\_ Exterior wall and trim color samples submitted
- \_\_\_\_\_ Landscape Design and Irrigation plan in detail submitted- Two (2) copies.
- \_\_\_\_\_ Mailbox design details per CC & R’s submitted - Two (2) copies
- \_\_\_\_\_ Drawings submitted for retaining walls, fencing, privacy walls -Two (2) copies.
- \_\_\_\_\_ Copy of Engineer stamped plans for any retaining wall in excess of three feet.

THE COMPLETED DESIGN REVIEW PACKAGE, WITH **ALL** THE ABOVE DOCUMENTS AND PLANS, IS TO BE SUBMITTED TO **GARY GEORGE, KAHANA RIDGE SITE MANAGER,** OR TO **DESTINATION MAUI, INC.** FOR REVIEW BY THE ARCHITECTURAL DESIGN COMMITTEE.

Construction deposit checks will be placed in a trust fund and filed by Mkt. Lot No. and TMK. All funds will be disclosed in a regular monthly budget report. Construction Bond monies released upon final site inspection by at least one Board Member and Site Manager upon completion of landscaping and fencing.

**DATE RECEIVED BY ADC -** \_\_\_\_\_ **Signature** \_\_\_\_\_

**APPROVAL/DISAPPROVAL DUE ON OR BEFORE -** \_\_\_\_\_ **(Date)**

**APPLICATION FORM FOR DESIGN REVIEW**

**TO: ARCHITECTURAL DESIGN COMMITTEE**

**THIS FORM WAS COMPLETED ON (DATE):** \_\_\_\_\_

\_\_\_\_\_  
**Owner(s) Full Name** **Current Street/P. O. Box**

\_\_\_\_\_  
City State Zip Code

( ) ( ) ( )  
\_\_\_\_\_  
Home Telephone Evening Telephone Business Telephone

E-Mail Address \_\_\_\_\_

\_\_\_\_\_  
**Contractor - Company Name** **Contact Person** **Position**

Hawaii License No. \_\_\_\_\_ Expiration Date \_\_\_\_\_

\_\_\_\_\_  
Address - Street/P. O. Box City HI State Zip

( ) ( ) ( )  
\_\_\_\_\_  
Business Telephone Cell Telephone Evening Telephone E-Mail Address

\_\_\_\_\_  
**Architectural Firm** **Contact Person** **License No.** **State** **Exp. Date**

\_\_\_\_\_  
Address- Street/P. O. Box City State Zip

Business/Cell Telephone ( ) \_\_\_\_\_ E-Mail Address \_\_\_\_\_

\_\_\_\_\_  
**Landscaping Company** **Contact Person**

\_\_\_\_\_  
Address - Street/P. O. Box City State Zip

Business/Cell Telephone ( ) \_\_\_\_\_ E-Mail Address \_\_\_\_\_

# KAHANA RIDGE

*c/o Destination Maui, Inc.  
841 Alua Street, Suite 102  
Wailuku, HI 96793-1483*

*Telephone 808-244-9021 FAX 808-243-9883  
Email - [dmi@destinationmaui.net](mailto:dmi@destinationmaui.net)*

*Website [www.destinationmaui.net](http://www.destinationmaui.net)  
March 16, 2007 - Update*

To: **All Contractors Building within the Kahana Ridge Subdivision**

From: Kahana Ridge Association, Inc.

Subject: **CONTRACTOR INSURANCE REQUIREMENTS**

At the advice of our attorneys and our insurance company, the Kahana Ridge Association, Inc. requires that your insurance agent provide to the Kahana Association, Inc. a Certificate of Insurance, which names the Kahana Ridge Association as additionally insured. This certificate is required to show evidence of Liability, Automobile, and Worker's Compensation insurance coverage.

All General Contractors are responsible for ensuring that any and all subcontractors (defined as all workers on a Kahana Ridge job site who are not employees of the General Contractor) are properly licensed and also carry the required insurance. Any General Contractor who does not carry their own Worker's Compensation policy will be required to provide evidence that each and every worker on the job site is covered by a Sub-Contractor Worker's Compensation policy.

Should you have any questions, please do not hesitate to contact Gary George, Site Manager at (808) 250-4384 (Cell), or Diane Grogan, DMI Property Manager at (808) 244-9021 in Wailuku.

Please have your agent show the additionally insured on the certificate as "Kahana Ridge Association, Inc." and submit it with the Design Review Packet to the Site Manager or have the certificate mailed to:

Kelly Young, Property Manager  
Destination Maui, Inc.  
841 Alua Street, Suite 102  
Wailuku, HI 96793-1443  
FAX (808) 243-9883  
Email – [dmi@destinationmaui.net](mailto:dmi@destinationmaui.net)

# KAHANA RIDGE

## DESCRIPTION SUMMARY

### **BUILDING/PROPERTY AREAS**

Marketing Lot No. \_\_\_\_\_ TMK \_\_\_\_\_ Street Address \_\_\_\_\_

#### **Lot Area**

Lot Dimensions: Street - Front Width - \_\_\_\_\_ Ft. Depth Side A \_\_\_\_\_ Ft. Rear Width \_\_\_\_\_ Ft.  
Depth Side B \_\_\_\_\_ Ft. **LOT TOTAL AREA (A)** \_\_\_\_\_ **Sq. Ft.**

#### **Building Floor Areas**

**GROUND FLOOR (B)** \_\_\_\_\_ **SQ. FT** + Second Floor (C) \_\_\_\_\_ Sq. Ft. **TOTAL AREA** \_\_\_\_\_ **Sq Ft (B +C)**

#### **TOTAL BUILDING FOOTPRINT – Not More than 40%**

Ground Floor Area (B) divided by Total Lot Area (A) = \_\_\_\_\_ %

#### **Interior Features**

No. Stories \_\_\_\_\_ No. Bedrooms \_\_\_\_\_ No. Baths \_\_\_\_\_ No. Garage Stalls \_\_\_\_\_ No. Kitchens \_\_\_\_\_

### **EXTERIOR FEATURES**

<b><u>FEATURE</u></b>	<b><u>COLOR/FINISH/MATERIAL</u></b>	<b><u>DESCRIPTION</u></b>
Driveway & Entry Way	_____	_____
Exterior Siding	_____	_____
Stucco	_____	_____
Exterior House Color	_____	_____
Trim and/or Fascia	_____	_____
Exterior Doors	_____	_____
Garage Door	_____	_____
Roofing Material	_____	_____
Fascia and Gutters	_____	_____
Lanai Railings	_____	_____
Walls and/or Fencing	_____	_____
Mail Box Design	_____	_____

Completed by \_\_\_\_\_  
Signature Printed Name Company Date

# KAHANA RIDGE

KAHANA RIDGE ASSOCIATION, INC.

## **CONSTRUCTION RULES**

Updated March 16, 2007

FOR

### **ALL CONTRACTORS AND SUB-CONTRACTORS WORKING WITHIN THE KAHANA RIDGE SUBDIVISION**

CONSTRUCTION WORK HOURS – 7:00 A.M. TO 6:00 PM.  
MONDAY THROUGH SATURDAY

**NO WORK ON SUNDAY AND HOLIDAYS**

**NO WORK HOLIDAYS ARE:**

New Years Day, Memorial Day, Independence Day (4<sup>th</sup> of July),  
Labor Day, Thanksgiving Day, Christmas Day

**NOISE** – ABSOLUTELY NO LOUD RADIOS OR AUDIO DEVICES ON THE JOB SITE  
**WATER METERS** MUST BE INSTALLED AND WATER AVAILABLE PRIOR TO CONSTRUCTION  
**DUST CONTROL** ON THE JOBSITE IS REQUIRED, INCLUDING DUST SCREENS AS NEEDED

**PORTABLE TOILETS** ARE REQUIRED PRIOR TO CONSTRUCTION

**TRASH DUMPSTERS** ARE REQUIRED AND MUST BE EMPTIED REGULARLY

WINDBLOWN MATERIALS FROM JOBSITE ARE TO BE RETRIEVED AND DISPOSED OF

SOIL, MUD AND ROCK FROM THE JOBSITE AND/OR CONTRACTORS VEHICLES OR  
EQUIPMENT, DEPOSITED ON SIDEWALKS AND STREETS MUST BE WASHED DAILY

DAMAGED OR BROKEN INFRASTRUCTURES WILL BE REPAIRED BY THE CONTRACTOR

**STORAGE OF MATERIALS OR PARKING VEHICLES & EQUIPMENT** ON ADJOINING LOTS  
IS PROHIBITED WITHOUT WRITTEN PERMISSION OF THE LOT OWNER AND  
THE KAHANA RIDGE ASSOCIATION

DOGS OR OTHER ANIMALS MUST BE CAGED OR ON A LEASH IF KEPT ON THE JOBSITE

VIOLATORS OF THE ABOVE RULES ARE SUBJECT TO:

**IMMEDIATE STOP WORK ORDERS AND FINES of \$1000.00 PER DAY/OCCURANCE.**

#### **QUESTIONS –**

Contact the Kahana Ridge Site Manager -  
Mr. Gary George at (808) 250-4384

# KAHANA RIDGE

## GENERAL CONTRACTOR'S INTENT OF COMPLIANCE STATEMENT

To: Architectural Design Committee

From: \_\_\_\_\_  
Print - Contractor Company Name Address (City and Zip)

\_\_\_\_\_  
Print - Company Onsite Representative Name Telephone/Cell No.

This document certifies that, as the General Contractor for the construction of a residence for

\_\_\_\_\_ Kahana Ridge Association owner(s) of  
Owner(s) Name – Please Print

Mkt. Lot No. \_\_\_\_\_, TMK \_\_\_\_\_ and street address of \_\_\_\_\_  
within the Kahana Ridge, a subdivision located at Kahana, Maui, Hawaii, recorded in the State of Hawaii, Bureau of  
Conveyances, I have, understand, and bear responsibility for compliance with the Kahana Ridge Association, Inc. CC &  
R's Exhibit C Design Standards.

**I further understand that:**

No exterior changes or deviations may be made from the final plan approved by the Architectural Design Committee  
(ADC) without additional approval of said committee.

Trespassing or use of any land other than the building site for ingress, egress, storage of materials, equipment or  
mobilization, is strictly prohibited, unless approved in writing by the property owner AND the Kahana Ridge Association  
ADC.

The **CONSTRUCTION RULES** Updated March 16, 2007, (attached) are in affect at all times during the period of  
construction and will be strictly adhered to by the general contractor and all sub-contractors.

The general contractor is responsible for the actions of any and all subcontractors employed in the execution of the  
building contract.

A list of licensed subcontractors will be furnished to the Kahana Ridge Association ADC upon request.

I acknowledge the owners Construction Deposit Fee of \$3000.00 being held in trust until construction completion,  
including landscaping, and that all CC & R violations or damage repairs to common areas will be levied against this  
deposit or the property owner.

\_\_\_\_\_  
Signature of Contractor or Representative (Printed Name) Date

This instrument was acknowledged before me on the \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_\_

By \_\_\_\_\_

\_\_\_\_\_  
Notary Public, State of Hawaii  
My Commission Expires: \_\_\_\_\_

# KAHANA RIDGE

## OWNER'S INTENT OF COMPLIANCE STATEMENT

To: Architectural Design Committee

From: \_\_\_\_\_  
Print – Owner(s) Name

Residence Address (Street/P.O. Box, City and Zip) \_\_\_\_\_ Telephone/Cell No. \_\_\_\_\_

This document certifies that, as the Owner(s) of Mkt. Lot No. \_\_\_\_\_, TMK \_\_\_\_\_

Street address \_\_\_\_\_ within the Kahana Ridge, a subdivision located at Kahana, Maui, Hawaii, recorded in the State of Hawaii, Bureau of Conveyances, I have, understand, and bear responsibility for compliance with the Kahana Ridge Association, Inc. Construction Covenants.

I/we acknowledge that I/we are responsible for submitting a Construction Deposit of \$3000.00. We acknowledge said Construction Deposit will be deposited prior to any site work for improvements and not before the Architectural Design Committee (ADC) approval has been received in writing. Further, I understand that no change or deviation may be made from the final plans approved by the ADC without further approval of the ADC. Trespassing or use of any land other than the building site for ingress, egress, storage of materials, equipment or mobilization, is strictly prohibited, unless approved in writing by the property owner AND the Kahana Ridge Association ADC.

If private Owner-to-Owner agreements are made, with respect to granting temporary use of land, each agreement must be approved by the ADC prior to any such said utilization of land. This will include, but not be limited to the temporary use, storage of materials or trespassing for ingress and egress during any construction period.

In addition, I/we understand that under the Kahana Ridge Administrative Rules and Policies a final inspection by a Board member and the Site Manager is required prior to occupancy. Occupancy is defined here includes, but is not limited to, storage of any personal property within the house or garage.

And I/we understand that all refunded deposits, including construction deposits, or architectural review deposits, in total, or portions thereof, shall be made after the final inspection and the initial recommendation of a Board member and the Site Manager have submitted their recommendation to the Board of Directors for final approval.

I/we acknowledge that my Construction Deposit Fee of \$3000.00 being held in trust until construction completion, including landscaping, will have any CC & R violations and/or damage repairs to common areas levied against this deposit.

Owner Signature: \_\_\_\_\_ Printed Owner Name \_\_\_\_\_

Owner Signature: \_\_\_\_\_ Printed Owner Name \_\_\_\_\_

This instrument was acknowledged before me on the \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_\_

By \_\_\_\_\_

\_\_\_\_\_  
Notary Public, State of Hawaii  
My Commission Expires: \_\_\_\_\_

# KAHANA RIDGE

Kahana Ridge Association, Inc.

## **Declaration of Covenants, Conditions, and Restrictions**

### **EXHIBIT C** **DESIGN STANDARDS** (Includes all new amendments)

**Pages 10 thru 18**

Kahana Ridge Association, Inc.  
Declaration of Covenants, Conditions, and Restrictions

**EXHIBIT C**  
**DESIGN STANDARDS**

(Includes all new amendments)

The following design standards are hereby established and adopted for Kahana Ridge and any other property which may be annexed under this declaration.

Except as otherwise specifically provided herein, the terms used in these Standards shall have the meanings given to them in the Declaration. The term "lot" is the same as "Property" as used in the Declaration. The term "Developer" means the "Declarant" as defined in the Declaration. The term "Improvement" includes any "structure" as defined in Section 4.02 of the Declaration and also shall include any landscaping and grading necessary or appurtenant to the placement or construction of any structure. The term "Committee" means the Architectural Design Committee. The term "Plat" means collectively the plan attached to this Declaration as Exhibit B and the File Plans described in Exhibit A.

The use of each Lot and the rights of each Owner shall be subject to these Standards and the Declaration to which they are attached.

**A. GENERAL PROVISIONS**

1. Architectural Design Committee Approval Required. Except as otherwise provided in the Declaration, no Improvements may be constructed or installed nor may any existing Improvement be externally remodeled, changed in color or otherwise visually altered on any lot, except in accordance with plans, specifications and other materials (the "Plans") submitted to and approved by the Architectural Design Committee and in accordance with the Declaration.

2. Public Regulations. Each Lot Owner is responsible for being informed of and complying with all appropriate federal state and county laws, rules, regulations, codes and ordinances which are applicable to his property. If a Standard set forth herein differs from standards established by the various regulating agencies, the stricter standard shall apply. Nothing herein shall be deemed to suggest or imply that any activity permitted by the terms and conditions of these Design Standards and the Declaration necessarily complies with or is permitted by such laws, rules, regulations, codes and ordinances.

3. Land Use and Building Type. All Owners of Lots shall comply with the provisions of the Declaration. No Improvement shall be erected, altered, placed or permitted to remain on any Lot other than those Buildings and Structures permitted under Article 3 of the Declaration.

4. Variances. The Architectural Design Committee may grant variances from time to time to these standards as to anyone or more individual Lots, as provided in Section 4.06 of the Declaration. The approval or disapproval of any Plans by the Architectural Design Committee in anyone case shall not be deemed a waiver by the Architectural Design Committee of its right to approve, disapprove, object to or consent to any of the features or elements embodied therein when the same features or elements are embodied in Plans submitted in any other cases.

5. Construction Operation Hours. Hours of construction operations shall be limited to 7:00 a.m. to 6:00 p.m., Monday through Saturday.

Kahana Ridge Association, Inc.  
Declaration of Covenants, Conditions, and Restrictions

**EXHIBIT C**  
**DESIGN STANDARDS**

(Includes all new amendments)

**B. SITE IMPROVEMENT STANDARDS**

1. Utilities. Except as otherwise provided in the Declaration, all utilities within a Lot shall be placed underground.

(a) Water. Upon construction of a Single Family Dwelling on his Lot, the Lot Owner shall connect the water lines serving his Dwelling to the central water distribution system established by the Developer.

(b) Sewage Disposal. Upon construction of a Single Family Dwelling on his Lot, the Lot Owner shall connect to the central sewage disposal system established by the Developer.

(c) Gas. Propane or natural gas service is not permitted (except for standard propane tanks attached to an outdoor barbeque grill).

(d) Communications. Exterior satellite dishes, television and radio antennae/towers are prohibited unless such apparatus is completely enclosed within the dwelling or garage and not visible from the streets and other Lots.

(e) Electricity. Upon construction of a single Family Dwelling on his Lot, the Lot Owner shall connect the electrical lines serving the Lot and Single Family Dwelling to the power distribution system owned and operated by Maui Electric Co., Ltd.

2. Drainage. The flow of surface and/or subsurface drainage onto, across, or from each Lot shall not be unreasonably obstructed, or transferred outside of its natural drainage course (or such drainage facilities established by the Developer). Such runoff shall be dispersed or channeled by surface swales or other facilities in such a manner as to prevent erosion and damage to property. No Owner shall construct or permit to be constructed on any Lot, any structure which will create a problem of flooding, erosion, or interference with natural flow of storm waters.

Each Owner shall provide for the installation of such culverts and drainage facilities upon his Lot as required by the Architectural Design Committee. Each Owner shall keep all such drainage facilities and culverts so installed on his Lot free and unobstructed and in good repair.

3. Required Setbacks. The required front, rear, and side yard setbacks shall be that distance from respective boundaries of each Lot which is required by applicable zoning laws. No structures will be built within any area designated on the Plat for use as landscaping or drainage easement.

Kahana Ridge Association, Inc.  
Declaration of Covenants, Conditions, and Restrictions

**EXHIBIT C**  
**DESIGN STANDARDS**

(Includes all new amendments)

4. Site Grading. Grading and finished elevations shall respect the existing contours of the site. Cut or fill banks with slopes greater than 1 vertical foot to 2 horizontal feet shall not be permitted.

Cuts or fills of greater than 5 feet in length shall require a plan prepared by a contractor or engineer licensed to practice in the State of Hawaii. The Lot Owner shall present sound reasoning to justify such work.

All excess vegetation, soil and debris resulting from clearing, grubbing and excavation of a Lot must be removed from the Lot prior to completion of the Improvements. Exceptions will be made by the Architectural Design Committee if excavated material is used for fill elsewhere on the Lot. To the extent reasonably possible, excavation on a Lot shall not affect any' adjacent Lot. Each Owner shall control dust during the grading process and throughout the subsequent landscaping grow-in period to minimize annoyance which may be caused to other Lot Owners.

Each Lot Owner shall obtain a grading permit, if required by County ordinance, or regulation, from the County of Maui and shall submit a copy thereof to the Architectural Design Committee prior to commencing any site Improvements. In order to preserve a natural appearance, grading should be limited to the building and landscaped areas. All land not landscaped or built on within 6 months after completion of grading shall be returned to its original state, as determined by the Architectural Design Committee. "Completion of grading" shall be determined by the Architectural Design Committee in its sole discretion.

**C. ARCHITECTURAL AND BUILDING STANDARDS**

1. Dwelling Minimum Size Requirements. Each Single family dwelling erected on a Lot shall have a total floor area of not less than 1,380 square feet for a one story home and 1,500 square feet for a two story or split level home, exclusive of lanais, porches, patios, garages, exterior stairways and landings, and accessory buildings.

2. Building Height. No structure may be erected the height of which exceeds either: (a) thirty (30 feet measured vertically from the elevation of the top of the structure or improvement to the lowest point of contact with the finished grade within the buildable site area; OR (b) eighteen (18) feet measured vertically from the elevation of the top of the structure or improvement to the highest elevation of the existing grade within the buildable site area. The building site area is defined by the required County of Maui lot line setbacks. The vertical measurements determine the Maximum Height of structures and improvements within the Buildable Area as set forth on Diagram A attached hereto. No structure or improvement (excluding chimneys) may exceed said Maximum Height. Notwithstanding said Maximum Height restrictions, no structure or improvement shall have more than two (2) stories or floors, including basements.

Kahana Ridge Association, Inc.  
Declaration of Covenants, Conditions, and Restrictions

**EXHIBIT C**  
**DESIGN STANDARDS**

(Includes all new amendments)

Provided further, that notwithstanding compliance with the foregoing height restrictions, the Architectural Design Committee shall have the power in its discretion to make the final determination on the height compliance of any structure or improvement, or deny approval of any structure or improvement on a Lot which substantially impairs views from adjoining Lots.

Open areas under structures must be enclosed to give the appearance that the structure grows out of the site. Buildings appearing to perch on the slope when the under floor area is left open are not permitted.

The "existing grade" is the topography of the Lot as of the date the Deed is granted from the Declarant to the original owner. The "finished grade" is the final building grade of the Lot resulting from grading, fill or excavation as approved by the Architectural Design Committee.

3. Plans. See Section D of these Standards for required items to be submitted for-review and approval by the Architectural Design Committee prior to the construction, alteration, landscaping or grading or any Improvement on a Lot.

4. Labor and Materials. All construction work shall be performed, executed and completed by a general contractor licensed to practice in the State of Hawaii.

The materials used for structures shall be new and of a quality consistent with that used in good quality construction. All building materials shall be installed in a neat and workmanlike manner, consistent with generally accepted construction practices. No used buildings shall be placed on any Lot, no shall any used lumber or materials be a part of the construction of any Improvement. Notwithstanding the generality of the foregoing, however, antique or aged materials may be used in the construction of Improvements to achieve a desired aesthetic effect with the approval of the Architectural Design Committee (e.g., used brick, railroad ties, barn wood).

5. Fences and Walls. Privacy fences and walls shall not exceed six (6) feet in height and retaining walls shall not exceed six (6) feet in height measured from finished grade; provided that any fence or wall within six (6) feet of each street frontage property line may not exceed four (4) feet six (6) inches in height from finished grade.

All walls and fences shall be constructed of (a) concrete or hollow tile, each stucco finished; (b) blue rock or gray rock; or (c) finished wood. The use of wrought iron, steel, or anodized steel shall be in a black finish only, and is only permitted when used in conjunction with other approved fence material. The use of lava rock is discouraged. No wall or fence shall be constructed of unfinished hollow tile, chicken wire, chain link or unfinished wood; provided, however, that Developer shall have the right to erect chain link fencing along certain boundaries of Kahana Ridge.

Kahana Ridge Association, Inc.  
Declaration of Covenants, Conditions, and Restrictions

**EXHIBIT C**  
**DESIGN STANDARDS**

(Includes all new amendments)

6. Exterior Walls of Structures. All exterior surfaces of all structures, excluding glass windows, shall be stucco, or stucco-like material, finished wood, concrete, or blue or gray rock. Use of lava rock is discouraged. Wood materials selected should be resistant to tropical marine climate, and wood and concrete surfaces must be painted, stained, or finished in stucco, using high quality material. High quality composition wood, vinyl, imitation or artificial material must be submitted to the Architectural Design Committee for review. The Architectural Design Committee at its sole discretion may approve or reject the material. No unfinished concrete, concrete block, or hollow tile shall be permitted.

All siding material must be equivalent to Hardi Plank Lap Siding or higher quality; and T-111 siding is not permitted.

7. Exterior Color. All exterior surfaces of all Improvements shall be in neutral or earth tone shades, which are in harmony with the natural setting of the structure and other structures in the Neighborhood. The color scheme of all exterior elements of all Improvements on the Lot, including but not limited to accessory enclosures and structures, porches, lanais, covered walkways, exposed foundations, solar heating panels, signs, entry features, gates, and louvres shall be complimentary with each other and must be approved by the Architectural Design Committee.

8. Roofs. All roofs shall be approved by the Architectural Design Committee. Hip, "Double" Hip, and "Dutch" Hip roofs are recommended. Mansard, Gable, Shed, and flat roof designs are prohibited.

The roof pitch must be between four (4) in twelve (12), and eight (8) in twelve (12). Low pitched roofs with large overhangs are recommended.

It is recommended that the roof materials be concrete or clay tiles in earth tone color that compliment the surrounding hillsides and terrain. Gravel, rock, metal, asphalt, and glossy or reflective roof materials are prohibited.

Other types of roof materials (such as wood shakes, fiberglass and composition) will be permitted, if approved by the Architectural Design Committee. All roofing materials must be equivalent to the Celotex Presidential 40 year roof or higher quality.

Solar energy panels shall be allowed after Architectural Design Committee review and according to Hawaii Revised Statute **§196-7 Placement of solar energy devices** within (b) *[Subsection effective until June 30, 2015 and (b) [Subsection effective July 1, 2015 and both effective July 1, 2011 without assessments or fees.*

9. Chimneys. Chimneys are permitted but shall be subject to the review of the Architectural Design Committee in regard to height, material, color, spark arrestor, and appearance. The height of a chimney may not exceed two feet above the highest point of the roof of the structure.

Kahana Ridge Association, Inc.  
Declaration of Covenants, Conditions, and Restrictions

**EXHIBIT C**  
**DESIGN STANDARDS**

(Includes all new amendments)

10. Garages. All garages shall be fully enclosed using sliding overhead doors. All garages shall be sized to accommodate the parking of not less than two nor more than three automobiles. Garage doors must be in the closed position when not in operation for entering and exiting. Automatic garage door opening devices are encouraged.

11. Retaining Walls and Foundations. Retaining walls and foundations which are more than three (3) feet in height or which are placed upon embankments or filled areas shall be designed by a contractor or engineer licensed to practice in the State of Hawaii and such designs shall require approval of the Architectural Design Committee. See Section C.2. above concerning the treatment of open foundations.

12. Driveways. Driveways shall use concrete pavement, or other hard paving materials of color and type as may be approved by the Architectural Design Committee. Asphalt driveways are prohibited.

13. Exterior Lighting. To the extent possible sources of exterior lighting shall not be visible from neighboring Lots. Lamps which emit bright light or glare, exposed fluorescent lamps, flashing lights, colored lights and unshielded exterior lights are prohibited.

14. Air-conditioning or Other Mechanical Equipment. No air-conditioning unit or other mechanical equipment will be permitted to be placed in any location where its operation may tend to cause noise or disturbance to any other Property. All mechanical equipment and appurtenances shall be located and/or screened so as to be not visible from any street or Lot and must be painted to match the exterior color of the dwelling.

15. Landscaping. All lots shall be landscaped consistent with and in harmony with the natural topography and environment, and with other existing, landscaped lots.

16. Pools. No fabricated, free standing or above-grade swimming pools will be allowed. Pools shall be built on-site and shall be part of an integrated landscaping scheme. Front and side yard pools will be permitted only upon specific review and approval by the Architectural Design Committee (without limiting the Architectural Design Committee's general approval authority under the Declaration and this Exhibit B).

17. Windows and Reflective Surfaces. At a minimum, all windows must be double-glazed, thermal insulated. No highly reflective finishes shall be used on exterior surfaces, other than glass. Glass may not be mirrored.

18. Overhead Structures. The use of trellises is encouraged to provide shade and screening. All overhead structures must be permanent. These structures must be painted to match the exterior color of the dwelling. Fiberglass or other temporary materials are prohibited.

Kahana Ridge Association, Inc.  
Declaration of Covenants, Conditions, and Restrictions

**EXHIBIT C**  
**DESIGN STANDARDS**

(Includes all new amendments)

19. Mailboxes. All mailboxes must be enclosed and designed and constructed according, to the Kahana Ridge standard mailbox design. See General Information Page 26

20. Appliances. Owners shall not maintain, place, or store any appliance outside of the dwelling or garage. All appliances, including but not limited to, washers, dryers, sinks, or water heaters, shall be maintained, placed, or stored within the Residence or garage.

**D. REQUIREMENT AND PROCEDURES FOR SUBMITTAL AND APPROVAL OF PLANS**

1. Requirements for Plans. Two (2) copies of all Plans for any new building, grading, or other Improvement within Kahana Ridge shall be submitted to the Architectural Design Committee for approval, and shall include, without limitation, the following:

(a) Plot Plan showing location of all existing and proposed Improvements, utilities, service areas, fences and walls, accessory buildings, lighting plans, paved areas, driveways, parking areas, walkways, property lines, and landscaped areas.

(b) Grading Plan showing existing and proposed topographic elevations.

(c) Building Plans and Landscaping Plans to include:

- (i) Floor plans;
- (ii) All exterior elevations including finished grades;
- (iii) Landscape plans including description of plant materials, grass ground cover, plants, shrubs and trees;
- (iv) Plans for installation of irrigation system as required under Section 4.02 of the Declaration.

(d) Specifications and Samples. Written specifications, catalog cuts, and samples where possible of all exterior materials.

(e) Color Scheme. Written description of color scheme as well as samples of proposed colors.

(f) Miscellaneous. Plans, specifications and colors for all signs, house numbers, and entry features.

(g) Other items as required by the Architectural Design Committee from time to time upon review of each individual project.

(h) Stamp. All plans are to be stamped as prepared by an architect or structural, or other engineer licensed to practice in the State of Hawaii, with construction to be under such architect's or engineer's supervision.

Kahana Ridge Association, Inc.  
Declaration of Covenants, Conditions, and Restrictions

**EXHIBIT C**  
**DESIGN STANDARDS**

(Includes all new amendments)

(i) Alteration Plans. The plans for any alteration, modification or addition to the exterior of any existing Improvement shall be submitted to the Architectural Design Committee for its approval and shall contain the same information as is required for any new Improvement.

2. Review of Plans. The Architectural Design Committee will approve or disapprove the Plans in writing within 60 days after the Architectural Design Committee's acceptance, in writing, of the completed application and Plans. If the Architectural Design Committee disapproves any such Plans, it will send notice of its disapproval to the Applicant at the address set forth in the application. If notice of approval or disapproval is not so sent within said 60-day period, the Applicant shall notify the Architectural Design Committee in writing of its failure to timely approve or disapprove, and if the Architectural Design Committee thereafter fails to send a notice of disapproval within 15 days after receipt of such written notice, the Plans submitted shall be deemed to have been approved by the Architectural Design Committee. After approval of any Plans, the Architectural Design Committee will, upon written request from the Applicant provide the Applicant with a statement of approval in a form appropriate for recordation.

3. Standards of Review. The Architectural Design Committee will, in reviewing Plans submitted to it, consider their compliance with these Design Standards; the suitability and aesthetic compatibility of the proposed Improvement with the physical site, the adjoining Properties, and the environment of the subdivision; the quality of the materials to be used in construction; the effect of the proposed Improvement on the subdivision and other considerations pursuant to Section 4 of the Declaration. The approval or disapproval of the Plans by the Architectural Design Committee in anyone case shall not be deemed a waiver by the Architectural Design Committee of its right to approve, disapprove, object to or consent to any of the features or elements embodied therein when the same features or elements are embodied in Plans submitted in any other cases.

4. Fees. The Architectural Design Committee shall have the right to require payment of a reasonable fee for review of proposed Plans. Until adjusted by the Architectural Design Committee by resolution, such review fee shall be \$200.00 for an initial application and \$50.00 for each additional application by an applicant.

5. Professional Advice. The Architectural Design Committee may employ the services of an attorney, architect, or civil or structural engineer licensed to practice in the State of Hawaii or any other consultant to render professional advice, and may pay a reasonable compensation for such services, which compensation may be charged to any Person who has submitted Plans requiring review by such attorney, architect, engineer or other consultant. If owner shall specifically so request in advance, the amount of the professional fees will be estimated and agreed to in advance, before the Architectural Design Committee shall incur them at owner's expense.

# **GENERAL INFORMATION**

**GRADING**

**HEIGHT OF STRUCTURES**

**RETAINING WALLS**

**MAIL BOX DESIGN**

**Pages 19 thru 27**

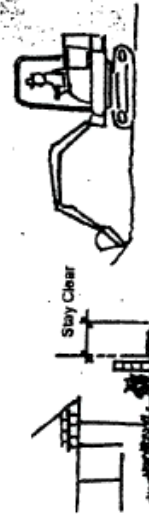


**RESPECT ADJOINING PROPERTIES**

The Grading Ordinance requires that the top or bottom of a cut or fill be kept a minimum distance from the adjoining property line according to the following schedule:

Height of Cut or Fill	Minimum Distance From Property Line
0 to 2 Feet	1 Foot
2+ to 4 Feet	2 Feet
4 + to 6 Feet	
6+ to 10 Feet	
10+ to 15 Feet	

Cuts or fills may be made up to the property line if a property permitted retaining wall will be constructed immediately to support the bank



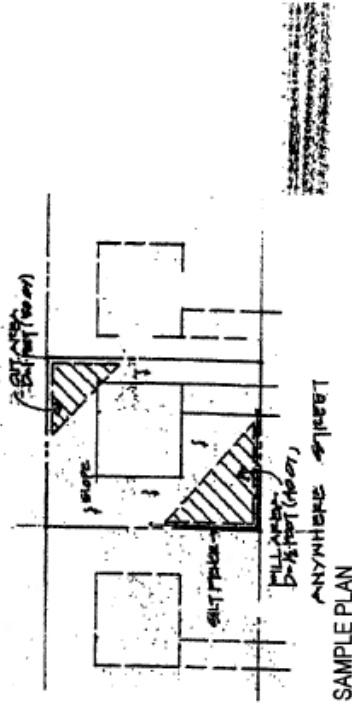
**WHAT DO I NEED TO SUBMIT TO GET A GRADING PERMIT?**

At the minimum, the following shall be submitted:

1. A plan of your lot which shows the area which will be cut an the area which will be filled, the depth of cut and fill, the direction of slope of the property, the location of neighboring, homes, gulches and drainage features such as culverts and inlets.
2. The proposed measures to control dust, erosion, and silt. S inside this brochure and the example plan below for small projects. Your proposed measures can be shown on the grading plan.
3. Pay the grading permit fee.
4. Post the grading bond, if required.

**DO I NEED TO GIVE THE COUNTY A BOND BEFORE GETTING THE PERMIT?**

1. A grading bond is only required for quantities greater than 500 cubic yards. Projects with quantities less than 500 cubic yards do not need to file a bond.
2. If you need to file a bond, the amount will be \$8.00 per cubic yard which can be a bond guaranteed by a surety company by a cash deposit.
3. The bond will be returned upon completion of the grading or establishment of permanent cover on the, soil such as grass.



**WHAT DO I NEED TO KNOW BEFORE I START GRADING?**

1. You must control dust and erosion.
2. You cannot grade up to the property line unless you are building a retaining wall
3. You cannot change drainage patterns that may affect other properties.
4. You shall protect archaeological sites and possible burials.
5. You may need a grading permit.

**HOW DO I DETERMINE IF I NEED A GRADING PERMIT?**

The need to obtain a grading or grubbing permit depends upon whether or not your project is in the Spatial Management Area district, the size of your project in terms of the number of cubic yards of soil moved, and the depth of the cut or fill. If you fill out a grading check form, a permit applications clerk will be able to determine whether or not you need a grading permit.

**WHAT ARE THE FEES FOR A GRADING PERMIT?**

<u>Volume of Material</u>	<u>Permit Fee</u>
0 to 1,000 cubic yards thereof.	\$15 per 100 CY or fraction
1,001 to 10,000 CY \$15	\$150 for the first 1,000 CY plus for each additional 1,000 CY or fraction thereof.

**CONTROL DUST AND EROSION**

The County Grading Ordinance requires that all construction projects control dust and erosion to the maximum extent possible. The following measures are commonly used to control dust, erosion, and silt for smaller building projects such as construction of a dwelling.

**DUST CONTROL**

Place soil stockpiles away from your neighbor's house and cover stockpiles with plastic or other sheeting material.

Water loose soil until damp and spray water during the grading operations to control airborne dust.



**EROSION CONTROL**

Only grade or dig up areas of ground where necessary to immediately start construction work. Leaving existing vegetation such as grass, ground cover, weeds, bushes, etc. in-place is the best erosion and dust control measure.

Temporarily cover bare soil areas with plastic or other sheeting materials.

Temporarily cover those areas where equipment and vehicles would travel with crushed rock. This is especially helpful next to the road where vehicles will enter and leave the project.

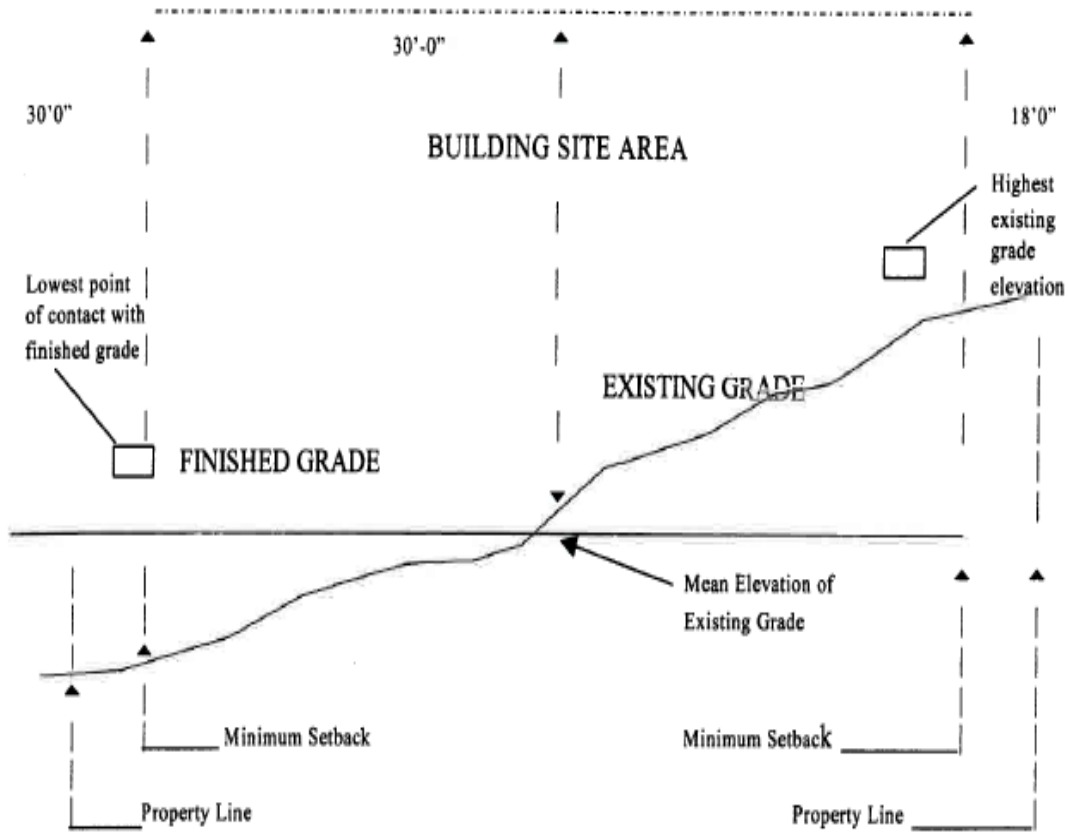
Replant bare soil areas with grass or ground cover as soon as possible.

**SILT CONTROL**

Place silt fencing so storm runoff water will not carry silt onto roadways and your neighbor's yard, or such as drainage systems or drainageways such as gulches.

If silt does get onto the road, you should clean it off as soon as possible without washing it into the storm drain. Be aware that silt on a roadway is especially hazardous to vehicular traffic and it could cause accidents.

### DIAGRAM A HEIGHT OF STRUCTURES

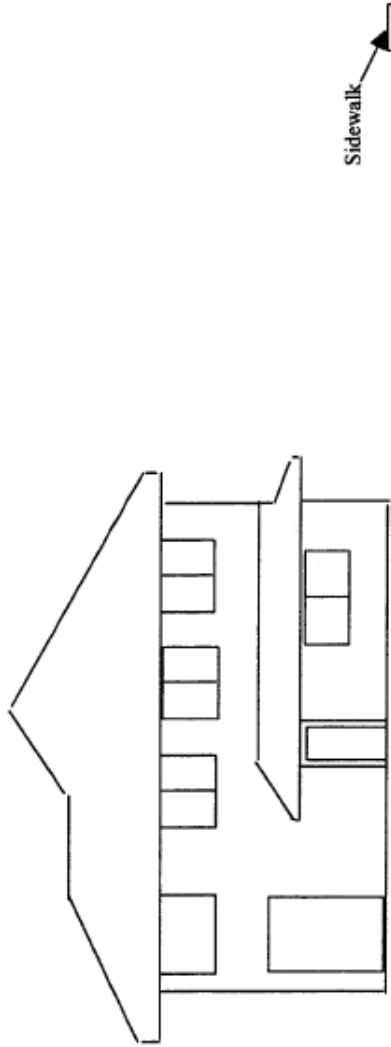


The finished grade of the lot can not be constructed at a height that exceeds the mean elevation point of the existing grade within the building site area. No structure may be erected that exceeds thirty (30) feet measured vertically from the point of contact of the finished grade with the mean elevation point of the existing grade within the building site area. Refer to EXHIBIT C Design Standards of the CC&R's and comply fully with the Design Review Application

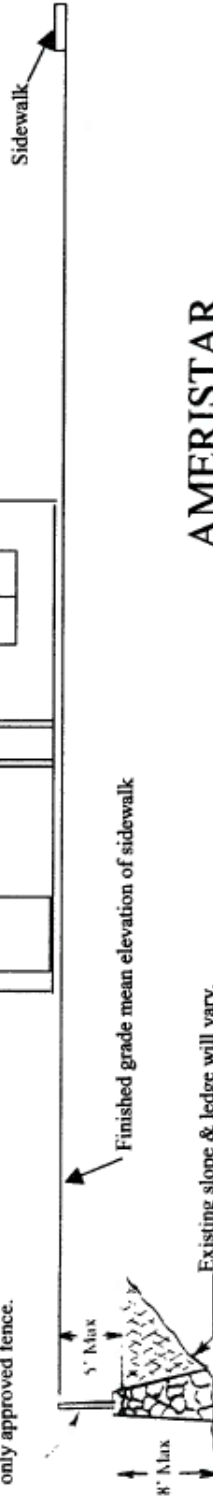


**EXHIBIT "A"  
CONSTRUCTION COVENANTS  
RETAINING WALL**

This retaining wall drawing only applies to the Ridge lots overlooking Honoapiilani Hwy



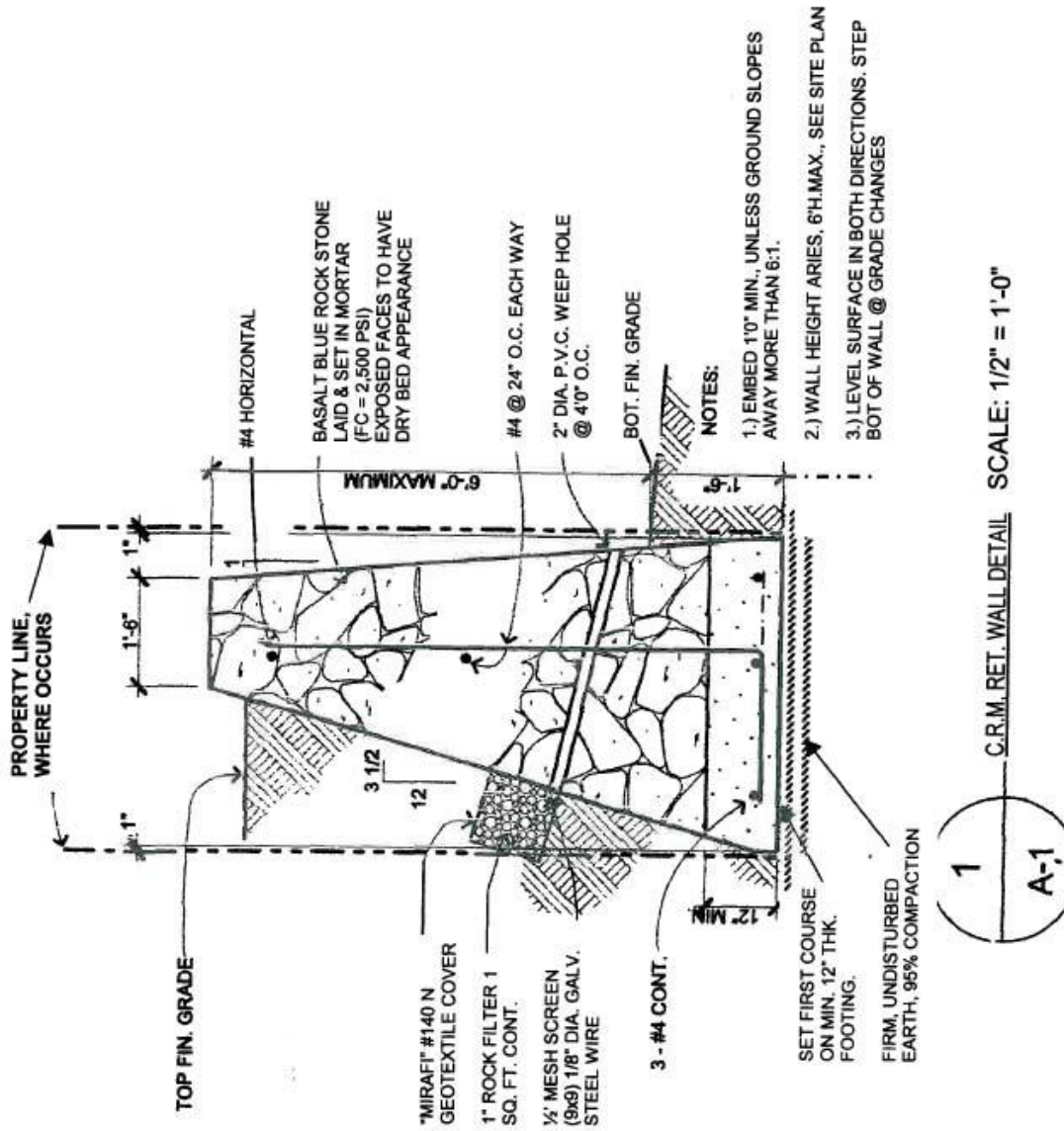
Ameristar aluminum ornamental fence style "Majestic Black" only approved fence.



**AMERISTAR**  
Aluminum Ornamental Fence  
Majestic

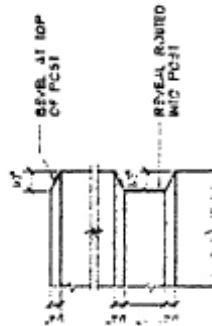
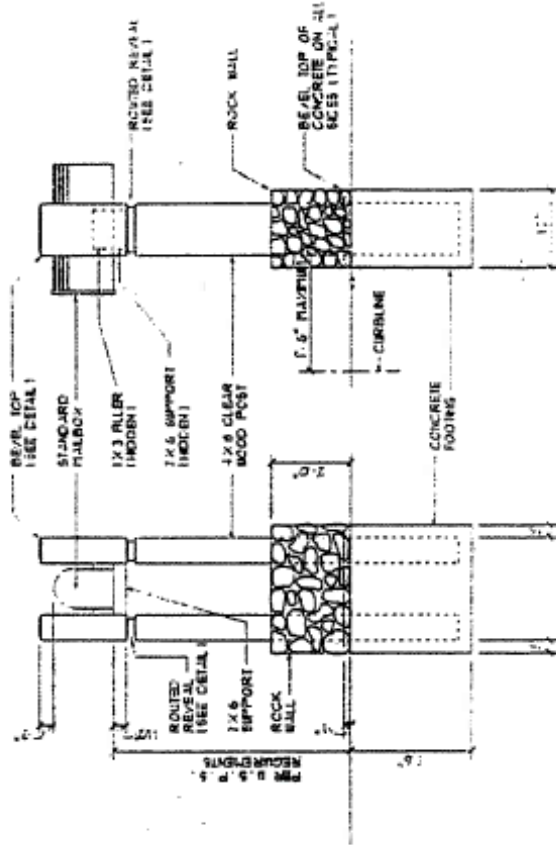


Only blue rock material can be used  
CMU wall to be faced with blue rock.  
Sand & cement all cracks & joints with brush finish.  
Sand & cement to of wall 3/4" minimum.  
Prior to any excavation or construction, drawings by a licensed civil engineer or architect to be submitted for approval by the Kahana Ridge Architectural Design Review Committee.  
Construction must meet County codes and standards & is subject to County inspections.  
County building permit required prior to construction.



**KAHANA RIDGE  
Standard Mailbox #3**

Estimated Cost \$400



**DETAIL**

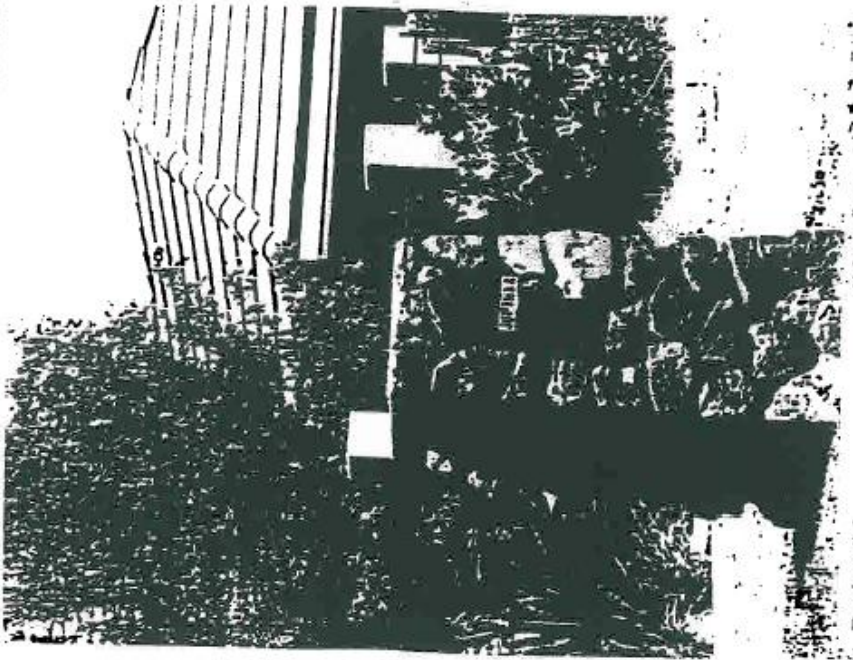
**FRONT**  
50'-3 1/2" x 1'-0"

**SIDE**  
50'-3 1/2" x 1'-0"

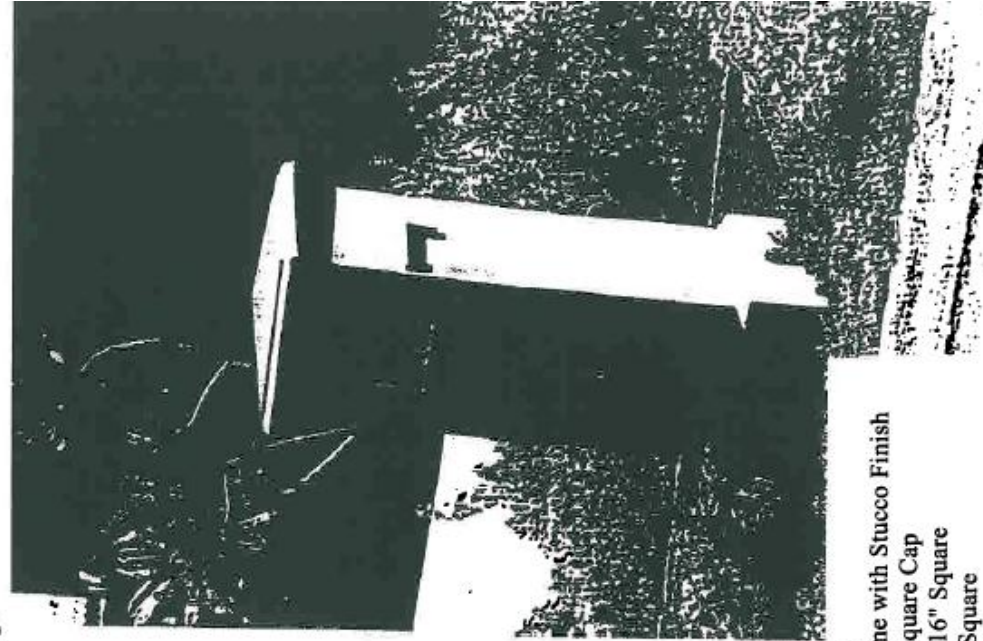
DATE	12/24/2014
BY	
CHECKED	

<p><b>CONTRACTOR</b></p> <p><b>J. W. CONSTRUCTION, INC.</b></p>	<p><b>SINGLE FAMILY DWELLING</b></p>
	<p><b>FOR LINCEY BUILDING CO.</b></p>
	<p>PMK 13-251 LCT # 4C</p>
	<p>LOCATION: KAHANA RIDGE P.O. BOX 102511</p>

**DIAGRAM B**  
**Standard Mailbox Design**



**Design # 1**  
**Blue or Gray Rock**  
**Top: 18" Square**  
**Base: 22" Square Height: 48"**



**Design # 2**  
**Wood Frame with Stucco Finish**  
**Top: 18" Square Cap**  
**Structure: 16" Square**  
**Base: 18" Square**  
**Height: 52"**

Matching Hardiplank Siding will be approved on an individual basis

# **LANDSCAPING PLANTS RECOMMENDED**

**SMALL CANOPY TREES  
PALMS  
SHRUBS  
HEDGES  
VINES  
GROUND COVER  
GRASSES**

**Pages 28 thru 32**

**KAHANA RIDGE  
RECOMMENDED LANDSCAPE PLANTINGS**

COMMON NAME	BOTANICAL NAME
<b>GROUND COVER</b>	
Agapanthus	Agapanthus africanus
Asparagus Fern	Asparagus sp.
Hemigraphis	Hemigraphis colorata
Joyweed	Altemanthera amoena
Laua'e Fern	Phymatosorus scolopendria
Mondo Grass	Mondo japonicum
Portulaca	Portulaca grandiflora
Pothos	Scindapsus aereus
Rhoco	Rhoco discolor
Ruellia	Ruellia cilisos
Syngonium	Syngonium podophyllum
Walking Iris	Neomarica bicolor
Wedelia	Wedelia trilobata
<b>GRASS</b>	
Bermuda	Cynodon dactylon
Centipede	Eremochloa ophiuroides
Seashore Paspalum	Paspalum vaginatum
St. Augustine	Stenotaphrum secundatum
Zoysia	Zoysia sp.

**KAHANA RIDGE  
RECOMMENDED LANDSCAPE PLANTINGS**

COMMON NAME	BOTANICAL NAME
<b>HEDGE MATERIAL</b>	
Croton	Codiaeum variegatum
<u>Eldorado</u>	Pseuderanthemum reticulatum
Hibiscus varieties	Hibiscus sp.
Leea	Leea coccinea
Mock Orange	Murraya paniculata
Natal Plum	Carissa grandiflora
Podocarpus	Podocarpus nerifolius
Snowbush	Breynia nivosa rosi-pieta
<b>VINES</b>	
Allamanda	Allamanda cathartica
Bougainvillea varieties	Bougainvillea sp.
Cats Claw	Doxantha unguis-cati
Creeping Fig	Ficus pumila
Galphimia	Tristellateis australasias
Huapala	Pyrostegia ignea
Jade	Stongylodon macrobotrys
Mandevilla	Mandevilla splendens
Stephanotis	Stephanotis floribunda
Thunbergia	Thunbergia grandiflora

**KAHANA RIDGE  
RECOMMENDED LANDSCAPE PLANTINGS**

COMMON NAME	BOTANICAL NAME
<b>PALMS</b>	
Licuala Palm	Licuala grandis
MacArthur Palm	Ptychosperma macarthurii
Manila Palm	Veitchia merrillii
Rhapis Palm	Rhapis excelsa
Royal Palm	Roystonea regia
<b>SHRUBS</b>	
African Iris	Moraea iridioides
Bird of Paradise	Strelitzia reginae
Dwarf Cvcad	Cvcas revoluta
Dwarf Date Palm	Phoenix roebeleni
Gardenia varieties	Gardenia sp.
Ginger varieties	Alpinia sp.
Heliconia varieties	Heliconia sp.
Imoatiens	Impatiens sultani
Ixora varieties	Ixora sp.
Kokutan	Raphiolepis indica
Monstera	Monstera deliciosa
Split Leaf Philodendron	Philodendron selloum
Plumbago	Plumbago capensis
Spathyphyllum varieties	Spathyphyllum sp.
Spider Lilv	Crinum asiaticum
Ti Leaf	Cordyline terminalis

**KAHANA RIDGE  
RECOMMENDED LANDSCAPE PLANTINGS**

COMMON NAME	BOTANICAL NAME
<b>SMALL CANOPY TREES</b>	
Allspice	<i>Pimenta diorca</i>
Coral Tree	<i>Erythrina crista-galli</i>
False Olive	<i>Elaeodendron orientale</i>
Tulipwood	<i>Harpullia pendual</i>
Hawaiian Koa	<i>Cordia subcordata</i>
Hong Kong Orchid	<i>Bauhina blakeana</i>
Jaboticaba	<i>Eugenia cauliflora</i>
Kalamona	<i>Senna surratensis</i>
Lignum Vitae	<i>Guaiacum officinale</i>
Pink Tecoma	<i>Tabebuia pentaphylla</i>
Plumeria varieties	<i>Plumeria</i> sp.
Podocarpus	<i>Podocarpus</i> sp.
Puakenikeni	<i>Fagraea barteriana</i>
Silver Trumpet	<i>Tabebuia argentea</i>
Strawberry Guava	<i>Psidium cattleianum</i>
Note: Large canopy trees and fruit trees are not permitted	
<b>PALMS</b>	
Areca Palm	<i>Chrysalidocarpus lutescens</i>
Bottle Palm	<i>Mascarena lagenicaulis</i>
Coconut Palm	<i>Cocos nucifera</i>
Fuji Pan Palm	<i>Pritchardia pacifica</i>
Fishtail Palm	<i>Caryota mitis</i>
Kentia Palm	<i>Howeia forsteriana</i>

## ADDENDUM A

### DESIGN REVIEW PROCEDURES

The following is an outline of the procedures for plan submissions for single family homes. All plans are to be submitted to the Architectural Design Committee (herein after ADC) via the Site Manager, or Kahana Ridge Association, Inc. C/O Destination Maui, Inc. (DMI) 841 Alua Street, Suite 102, Wailuku, HI 96793-1443.

#### A. Review the Relevant Documents

- . Lot Sale and Purchase Agreement
- . Building/Contractor Construction Documents
- . Declarations of Covenants, Conditions and Restrictions of Kahana Ridge and Amendments germane to your project.

#### B. Retain Professional Design Consultants

Architects, Builders, Contractors and Engineers, currently licensed in the State of Hawaii, are required of all Owners in Kahana Ridge subdivision. Design professionals should read and acquaint themselves with the relevant requirements. The ADC may require that a civil engineer registered in the State of Hawaii be retained by the Owner to produce the grading and drainage plan, should proposed site alterations warrant it.

#### C. Pre-Design Meeting

Owners are encouraged to make arrangements to meet with their Architect or Builder and the ADC prior to commencing the design stages of the review process.

#### D. Concept Review

Architects, Builders, Contractors, and Engineers must work in concert to produce concept site plans, floor plans, and pertinent elevations illustrating the design concept and showing how the home and significant landscape features will be situated on the lot. Two (2) sets of these drawings, 24 x 36 INCHES shall be submitted for review to the ADC along with the Design Review Application. THE ADC may require a field inspection of a rough stakeout showing building comers prior to granting approvals, and may require additional sets of drawings.

#### E. Preliminary Review

The following items must be submitted to the ADC for preliminary review along with two (2) sets of preliminary plans 24 x 36 INCHES, stamped by an architect currently licensed in the State of Hawaii.

- . Design Review Application Form
- . \$200.00 review fee payable to the Kahana Ridge Association, Inc.

1. Schematic Site/Building Sections with 1/8 inch = 1' 0" providing sections along each major is of the site, running !Tom each property line, and indicating setbacks and height restrictions. Said sections shall be keyed to the site plan and show all existing and finishing grades and improvements such as buildings, pools, retaining walls, lanais, etc.

## DESIGN REVIEW PROCEDURES

2. Preliminary Landscape Plan with 1/8 inch = 1' 0" prepared and stamped by a Landscape Architect or Contractor currently licensed in the State of Hawaii indicating the following:
  - a. Plant Masses and types
  - b. Decorative wall and fence locations and types.
  - c. Landscape paving locations and types.
  - d. Planting bed locations and configurations.
  - e. Tree planting areas and types.

The ADC will review the application and design documents and return appropriate comments.

### F. Final Review

The Owner must submit two (2) sets of the final construction plans (additional plans may be requested) stamped by an architect currently licensed in the State of Hawaii, and an updated Design Review Application which shall include the following:

- Topographic Boundary Survey as noted in Section E.
- Final Architectural Plans containing the following drawings:
  1. Site Plan - with 1/8 inch = 1' 0" scale as noted in Section E. 1.
  2. Roof Plan. @ 1/4" = 1' 0" scale (minimum 1/8" = 1' 0") indicating salient roof features including chimneys, skylights, roof pitch, roofing materials, etc.
  3. Floor Plans with 1/4 inch = 1' 0" scale (minimum 1/8" = 1' 0") as noted in Section E. 2.
  4. Building Sections with 1/4 inch = 1' 0" scale (minimum 1/8" = 1' 0") indicating the following:
    - a. Relevant vertical dimensions and features of the project.
    - b. Slab and floor framing elevations.
    - c. Soffit and eave elevations.
    - d. Finish and existing grade profiles as they relate to the building.
  5. Site Building Sections with 1/8 inch = 1' 0" scale as noted in Section E. 5.
  6. Exterior Elevations with 1/4 inch = 1' 0" scale (minimum 1/8" = 1' 0") as noted in Section E. 4.
  7. Detail drawings at appropriate scale for the following areas.
    - a. Fences and walls, top of wall and fence heights noted.
    - b. Trim and fascia
    - c. Windows and doors
    - d. Lanais railings and trellises
    - e. Eaves and roof overhangs.
    - f. Mailbox
    - g. Other details that are necessary to convey the general qualities of the residence.

### G. Submission of Plans to Building Department

Following Final Review and approval, the Owner may then submit approved plans to Maui County, or other such agencies having jurisdiction for required permits. The Owner will submit only those plans that have been stamped approved by the ADC.

## DESIGN REVIEW PROCEDURES

Approval by the Developer in no way relieves the Owner from complying with applicable codes, ordinances and regulations.

### H. Construction Commencement / Completion

Upon receipt of Final Review approval, and securing of the building permit, the Owner may commence construction. The ADC reserves the right, but is in no way obligated, to perform field inspections for compliance during any stage of construction. Construction (including landscaping and irrigation) must be completed within twelve (12) months from construction commencement. A set of approved construction plans shall be kept at the job site at all times and made available to the County inspector upon request.

### I. Construction Reviews

The ADC and or the Kahana Ridge Site Manager will perform periodic reviews to ensure compliance with the design standards and criteria and ADC approved plans, as follows:

- Prior to any clearing, excavating or filling on a Lot for construction, the ADC may request the Owner to provide a string stake-out of the Lot lines and Building lines. All trees to be removed must be clearly indicated. The inspector will review the string stakeout for conformity with ADC approved plans and will approve or disapprove the commencement of construction.
- Prior to placement of permanent improvements, (e.g. footings, pilings, slabs, etc.) the Owner must place batter boards indicating all Building areas.
- The ADC inspector will determine if all improvements have been made in accordance with the ADC approved plans and will certify his/her findings to the ADC.

### J. Survey/Certification of Occupancy

Upon completion of construction, upon request, the following will be submitted to ADC:

- Final Survey - Certified by licensed Surveyor.
- Building completion for occupancy shall be as defined under House Rule 3.14.  
Construction – Enforcement

## ADDENDUM B

### LOT STANDARDS AND CRITERIA

A. Grading and Drainage “Cut and Fill”

Grading of lots will be required in most cases. The specific grading plans must be submitted to the ADC for approval before any earth movement can take place.

Any slope conditions created shall be a maximum of 2:1. Drainage requires that certain Lots contain and direct surface water to the rear while others require drainage to the front or both.

B. Structure Siting and Building area

All lots shall be sited to show the following areas;

1. The Total Lot Area
2. The Building
3. The Landscaping Area
4. The Hard Surface Area

C. Setbacks and Building Heights

The front, side and rear setbacks each shall be a distance from respective boundaries of each lot, which is required by applicable zoning laws AND under Exhibit C, Design Standards. 3 Required Setbacks. Maximum building heights have been established. In Exhibit C, Diagram A of the Covenants, Conditions and Restrictions (CC & R's). Each Owner will be required to provide certification from a licensed surveyor as to compliance with the Maximum Height for all structures upon completion of construction. The certification shall be included in the Final Survey.

D. Lot Coverage

Maximum lot coverage of each lot shall be 40% of the Total Lot Area. These figures are expressed in square feet. Each owner is required to provide the calculation for the lot coverage as defined below.

Lot coverage is defined as **the foot print of the residence** which is the sum of the gross horizontal area included within the exterior building walls, and within the exterior surface of posts or columns supporting covered areas. Garages, greenhouses, storage areas, and covered lanais falling under the above definition are included in the calculations; walkways, lanais, covered by open trellises, pools and pool decks, and driveways would not be included.

For a residence with two stories the first and main story shall be used to calculate lot. Areas of second story or any loft are not included in the calculation. If the determination of story is subject to question, the final decision of which areas shall be used will be made by the ADC.

## LOT STANDARDS AND CRITERIA

### E. Preliminary Architectural Plans

Plans must be stamped by an Architect currently licensed in the State of Hawaii containing the following information:

1. Site Plan with 1/8 inch = 1' 1" scale indicating the following information:
  - a. Building footprint and main level slab existing and proposed elevations.
  - b. Lot coverage calculations.
  - c. Required and provided setback dimensions.
  - d. Driveway and apron location.
  - e. Pool, pool deck, and pool equipment enclosure location.
  - f. All ground level Lanai areas.
  - g. Proposed finish grades: Spot elevations at building comers and finish grade contours.
  - h. Schematic drainage plan.
  - i. Air conditioner locations
  - j. Locations of all proposed fences and wall.
  - k. Walkway locations.
  - l. Landscape areas.
2. Floor Plans with 1/4 inch = 1' 0" scale (minimum accepted 1/8 inch = 1' 0") containing the following information:
  - a. All Plan dimensions and areas
  - b. Room indications
  - c. Location of all proposed lanai areas
3. Roof Plans with 1/4 inch = 1' 0" scale (minimum accepted 1/8 inch = 1' 0") showing proposed roofing as it relates to setbacks and property lines.
4. Exterior Elevations with 1/4 inch = 1' 0" (minimum accepted 1/8 inch = 1' 0") containing the following information:
  - a. All four elevations of the residence.
  - b. Window and door locations
  - c. Roof Pitch and height
  - d. Proposed exterior materials including roofing, siding, trims, fascia, windows & doors.

### F. Topographic/Boundary Survey Map

Must be prepared and stamped by a surveyor currently licensed in the State of Hawaii with 1/8 inch = 1.0 inch scale and show existing conditions, and should not contain proposed design information, but must show the following information:

1. Property Lines and Dimensions.
2. Reference Benchmark and Datum
3. Existing lot comer elevations (Note Referenced Benchmark and Datum on plan).
4. Existing grade contours at two foot intervals.
5. Existing utility locations and easements, all existing trees with trunk caliper in excess of six inches, all existing street trees fronting the lot, pre-existing walls located on or adjacent to the property lines, and any other salient site features.
6. Required building setbacks.

## LOT STANDARDS AND CRITERIA

### G. Final Grading and Drainage plan

Must show the following information:

1. Finish and existing grade contours for all areas of lot grading at two foot intervals.
2. Finish spot elevations for all paved areas and at areas where grade breaks occur including:
  - a. Driveway grades.
  - b. Deck grades.
  - c. Top and invert elevations for drain inlets
  - d. invert elevations for drain outlet structures
  - e. Top and bottom elevations for all walls.
3. Retaining Wall plans, profiles, and sections at appropriate scales. Retaining walls exceeding four feet in height measured from the bottom of footing to the top of wall shall have plans prepared and stamped by a Structural Engineer currently licensed in the State of Hawaii.

### H. Walls and Fences

All walls and fences shall be constructed of materials set forth in Exhibit C, Paragraph C-5, of the Design Standards, of the Covenants, Conditions and Restrictions. They shall be finished in neutral or earth tones. No driveway gates are permitted.

### I. Final Landscape, Irrigation, and Exterior Lighting Plans with 1/8" = 1' 0" scale prepared and stamped by a Landscape Architect or Contractor currently licensed in the State of Hawaii indicating the following instructions.

1. Plant locations and specific names of trees, plant materials and lawn.
2. Quantities and sizes of plant materials.
3. Location and schedule of irrigation fixtures.
4. Location and schedule of exterior lighting fixtures
5. Planting details
6. Landscape paving locations and details
7. Wall and fence locations and details
8. Wall and fence locations and details

### J. Material Samples, Finish, Color Chips and/or Product Data of the following

1. Exterior and Garage Doors
2. Building Siding and Roofing Materials
3. Windows, Shutters, and Awnings.
4. Soffits, Trim Fascias
5. Driveways, Patios, Pool Decks, and all Paving Areas
6. Fences and Walls

THE ADC will review all design documents and return appropriate comments, and may require field inspection of the rough stakeout showing Building comers prior to granting approvals.

End of Forms - Page 39  
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